



GALLATIN COUNTY

STAFF REPORT

TO: BRIDGER CANYON PLANNING AND ZONING COMMISSION

FROM: ADDI K. JADIN, PLANNER

A handwritten signature in black ink, appearing to read "Addi", is written over the name "ADDI K. JADIN, PLANNER".

SUBJECT HEARING: LYON CONDITIONAL USE PERMIT REQUEST FOR A GUEST HOUSE (#Z2017-005)

HEARING DATE: OCTOBER 13, 2016; 9:00 AM

LOCATION: COURTHOUSE COMMUNITY ROOM
311 W. MAIN STREET, BOZEMAN

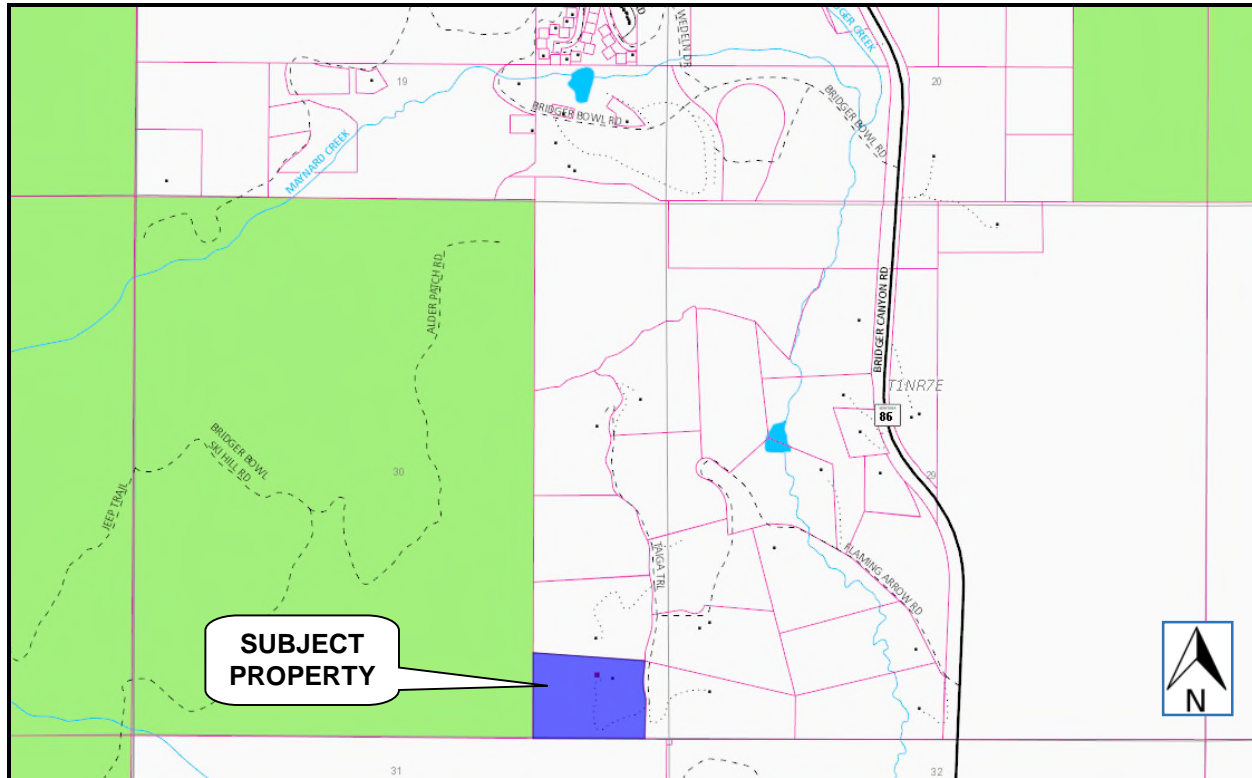
CONDITIONAL USE PERMIT REQUEST:

Ted and Donna Lyon (Applicants) have requested approval of a Conditional Use Permit (CUP) to allow a Guest House in the Agricultural Exclusive (AE) District of the Bridger Canyon Zoning District (Zoning District). This application is contingent on approval of a separate CUP request to modify the building envelope on the property (#Z2017-013).

PROPOSED FINDINGS:

1. **Location:** The Subject Property is Tract 17 of COS 95B, located in Section 29, Township One North (T01N), Range Seven East (R07E), P.M.M., Gallatin County, Montana. Specifically, the property is addressed as 11094 Taiga Trail, Bozeman, MT, and is located in the Agriculture Exclusive (AE) District of the Bridger Canyon Zoning District (Zoning District).

Vicinity Map



2. **Background.** The existing residence on the property has an approved Land Use Permit (#L03-206) which was approved after a prior CUP to modify the building envelope was approved (#Z03-055). Similarly, the approval of the Lyon Guest House CUP request—the subject of this Staff Report—is subject to prior approval of a modified building envelope.
3. **Adjacent Land Uses/Zoning.** The Subject Parcel is adjacent to Forest Service property to the west, other Flaming Arrow Ranch residential properties to the north and east, and a 640-acre undeveloped parcel to the south. With the exception of the Forest Service property, all the lands surrounding the Subject Parcel are similarly zoned AE.
4. **Topography/Site Characteristics.** The existing residence is in a densely forested area on the property that does not break a ridgeline; as such, the existing residence is well screened from adjacent residences and Bridger Canyon Road. The area proposed for expansion of the building envelope is approximately 75 feet west of the existing residence where the slope of the property continues at an incline after being relatively flat in the area of the existing driveway and the parking pad that would serve the proposed accessory structure.
5. **Access.** Access to the applicant's property is provided by private interior subdivision roads.
6. **Public Health and Safety-Waste Water.** The Applicants have approval from Gallatin City-County Health Department (GCCHD) to upgrade their septic system to be compliant

for both a Guest House and the existing single-family dwelling (Comments provided by GCCHD are attached as Exhibit A).

7. APPLICABLE REQUIREMENTS OF THE ZONING REGULATION:

A. Guest House Definition (Section 3.32). Detached living quarters of a permanent type of construction, without kitchens or cooking facilities, clearly subordinate and incidental to the main building on the same building site.

B. Zoning District Intent (Section 6.1). The intent of the AE District is:

“to preserve agriculture as one of the primary occupational pursuits and an economic endeavor in Bridger Canyon. It is further the intent of this District to protect and preserve the existing rural character of Bridger Canyon and to preserve existing developed and undeveloped farm lands from unplanned residential, commercial and industrial development.”

C. Uses Permitted After Securing Approval of a Conditional Use Permit (Section 6.3)
Guest houses are included in the list of Conditional Uses.

D. Setbacks (Section 6.5.b). According to Section 6.5.b the required setbacks for the AE District are:

“Minimum setbacks for residential buildings shall be twenty-five (25) feet from any property line, road right-of-way or road easement; one hundred (100) feet from any creek; one hundred and twenty-five (125) feet from the right-of-way of the Bridger Canyon Road, Kelly Canyon Road, and Jackson Creek Road.”

E. General Provisions (Section 15.2.b.) Guest houses shall not contain kitchen or cooking facilities and shall not be offered for rent or sale as an individual dwelling unit.

F. Conditional Use Permit Requirements. The Bridger Canyon Planning and Zoning Commission may issue a CUP, as authorized by Section 18.3.2, for any of the uses set forth in the Regulation. The Planning and Zoning Commission should consider the application submitted by the Applicant, public testimony, and the bulleted list of proposed findings below to determine whether the application meets the following requirement for issuance of a CUP:

Such permit may be granted only if it is found that the establishment, maintenance, or operation of the use or building applied for will not under the circumstances of the particular case, be detrimental to health, safety, peace, morals, comfort and general welfare of the Bridger Canyon Zoning District. (Section 18.3.2)

- *The Applicant has provided their written response to the above criteria in their narrative accompanying the Application.*
- *No written public comment has been received by the Planning Department at the time of publication of this staff report.*
- *The conditional use permit will allow the property to be used for a purpose that is authorized within the Zoning District and meets the guidelines of the Regulation in terms of its floorplan, setbacks and use as described in Findings 7.A-E above.*

G. Permits, Terms of Issuance 18.3.3. A conditional use permit or variance may be issued for a revocable, temporary, permanent or term period. It may contain such conditions as are authorized by State statute and this Regulation, including but not limited to:

- a) Requiring dedication of right-of-way;
- b) Requiring improvements of right-of-way;
- c) Requirements for landscaping to protect adjoining property;
 - 1. If landscaping is required, security shall be provided to ensure that the landscaping is properly installed. Such security shall be in the form of a certificate of deposit or a certified check in the amount equal to 110% of the estimated cost of the landscaping, as approved by the Zoning Enforcement Office, to ensure that the landscaping is installed and maintained for a period of one (1) year. The security and any interest shall be returned one (1) year after the installation of landscaping, if the landscaping has been maintained. The required security shall not be reduced or paid out if the landscaping has not been maintained.
- d) Regulation of placement of uses on the property.
- e) Regulation of height.
- f) Regulation of the nature and extent of the use.
- g) Regulation of the length of time which such use or variance may be permitted.”

- *Suggested staff conditions are identified on pages 4-5 of the Staff Report.*

H. Notice. Public notice was published in the Bozeman Daily Chronicle on September 18 and 25, 2016 and property owners within 300 feet were sent certified mail in accordance with Section 18.3.6.

I. Public Comment. As of the publication of this report no written comments have been received.

STAFF SUGGESTED CONDITIONS OF APPROVAL:

If the Bridger Canyon Planning and Zoning Commission decides to approve the Conditional Use Permit request, staff suggests the following conditions of approval be attached in order to secure substantial protection for public health, safety, and general welfare:

1. The Conditional Use Permit authorizes the use of the Guest House and shall not be utilized for any other use unless such use is permitted in conformance with the Bridger Canyon Zoning Regulation.
2. The Guest House shall not be offered for rent or sale as an individual dwelling unit.
3. An approved Land Use Permit is required prior to construction of the Guest House and shall be for a structure substantially in compliance with the CUP Application materials. Prior to submitting a Land Use Permit application, the Notice of Decision for CUP Application #Z2017-013, if approved, must be recorded with the required Exhibit depicting a modified building envelope.
4. The Applicants shall record a “Notice of Decision” prepared by the Planning Department with the Gallatin County Clerk and Recorder and provide evidence that it has been recorded to the Planning Department.

REQUIRED ACTIONS OF THE PLANNING AND ZONING COMMISSION:

1. **Sample Motions.** The role of the Planning and Zoning Commission in this instance is to decide on the conditional use permit request. The following sample motions have been provided by Staff for consideration by the Planning and Zoning Commission:
 - **Sample Motion for Approval:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 6.3 and Section 18.3 of the Bridger Canyon Zoning Regulation, I move to approve the conditional use permit request from Ted and Donna Lyon for a Guest House, with approval subject to all applicable laws and regulations, staff findings and staff recommended conditions (or with staff recommended conditions with the following modifications...).
 - **Sample Motion for Denial:** Having reviewed and considered the application materials, staff report, and public comment, in accordance with the requirements of Section 6.3 and Section 18.3 of the Bridger Canyon Zoning Regulations, I move to deny the conditional use permit request from Ted and Donna Lyon for a Guest House.
 - **Sample Motion for Continuance:** Having reviewed and considered the application materials, staff report, and public comment, I move to continue the Lyon Conditional Use Permit Application for the purpose of (explain reason for continuance, and if applicable, specify any additional information that is being requested) until (state the date when the item will be heard again).
2. **Required Findings.** The Planning and Zoning Commission’s decision must be supported by findings related to the below determinations.
 - A. **Whether the Conditional Use Permit request meets the criteria of Section 18.3.2. of the Zoning Regulation (See Proposed Finding 7.F. on pages 3 and 4).**

- To provide findings in support of the above determinations, the Planning and Zoning Commission may wish to adopt in whole or in part the proposed findings presented in the staff report (if the Proposed Findings are adopted in part, please specify which findings are omitted).
- The Planning and Zoning Commission also should make original findings based on other relevant information entered into the record during the hearing, including the Applicants' presentation and public comment.

3. **Motion for Issuance of Findings of Fact, Conclusions of Law, and Order.** I move to authorize the Chair of the Planning and Zoning Commission to sign and issue written Findings of Fact, Conclusions of Law and Order that incorporate all of the findings and conclusions entered into the record in this manner.

Attachments:

Exhibit A: GCCHD Comment
Lyon Guest House CUP Application (#Z2017-005)

CC:

Ted and Donna Lyon, via email
Lance Kresge, Kresge Construction, via email
Keith Redfern, Concept 7, via email
County Attorney

F:\Development Review\Projects\Zoning\Z2017-005 Lyon Guest House CUP (BC)\Z2017-005.Lyon.SR.doc

Gallatin County Survey Review Comment

Shared File No:
Document No:

Planning File No:
CR File No:

Record Created:
CR Staff:

1/4 Section:
1/4 Section2:

Section:
Section2:

Township:
Township2:

Range:
Range2:

Other legal :

Owner Name:

Survey Type:
Lots on survey:

Plat Title:

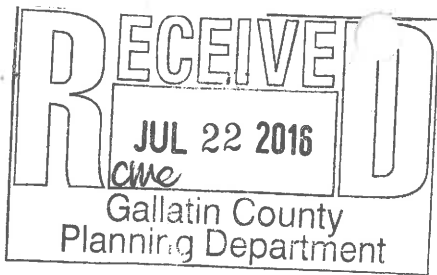
Purpose:

Action Date:
Planning Staff:

PlanningComments:

Date Checked:
EHS Staff:

EHS Comments:



GALLATIN COUNTY

FILE NO. Z2017-005

DATE 7-8-16

Conditional Use Permit Application Form

The Undersigned hereby makes application for a **CONDITIONAL USE PERMIT** pursuant to the requirements as outlined in the County Zoning District Regulation.

- 1. Name of Applicant: Ted & Donna LYON
- 2. Address of Applicant: 11095 Taiga Trail
Bozeman Mt.
- 3. Phone Number of Applicant: 214 802 4798
- 4. Email: tblyonated@lyon.com
- 5. Legal Description of Subject Property: 11095 Taiga Trail
LOS 95B, Tract 17
- 6. DOR#: 06 1013 29 3 02 24 0000
- 7. General Location: South of Bridger Bowl
in Flaming Arrow
11085 Taiga Trail
- 8. Zoning District: Bridger Canyon Current Zoning: AEPD 20
- 9. Conditional Use to consist of the following: Guest House

10. Are any variances being requested? Yes No
If Yes, please explain: _____

11. Are there any covenants or deed restrictions on the property? Yes No
If Yes, Please Include Copy

I understand that the filing fee accompanying this application is not refundable. I hereby certify that the above-listed information is true and correct.

Applicant's Signature

060817

Date

FOR OFFICE USE ONLY

Date Filed: _____ Filing Fee: _____
Zoning Commission Hearing Date: _____
Action Taken: _____

Proposal _____



GALLATIN COUNTY
Certification of Property Owners List

I, Ted Lyon, applicant for the attached proposal, hereby certify that:

- To the best of my knowledge, the attached list shows all property owners and purchasers under contract for property:

All - Adjacent to the proposal site (and across watercourses, roads, etc.).

Within 3 feet of the proposal site.

- The names on the list are from the Gallatin County Clerk and Recorder's most recent records.
- The addresses on the list are from Montana Departments of Revenue's most recent tax records, available on the internet at <http://svc.mt.gov/msl/mtcadastral>.
- I understand that an inaccurate list may delay review of the project.

A handwritten signature in black ink, appearing to read "Ted Lyon".

Signature

7-8-16

Date

Proposal _____

Property Owners

Adjacent to proposal site and across watercourses, roads*, etc.
 Within _____ feet of proposal site.

	Legal Description of Property	Property Owner's Name	Mailing Address of Property Owner
1	S29, T01N, R07E, COS. 95B Tract 12 20.116 AC	Drew TOWN	Tonn Andrew Rev Trust 11155 Taiga Trail Bozeman, MT 59715-9698
2	S29, T01N, R07E	Hopkins Family Trust	Hopkins Family Trust 3108 Cadet RD Ponca City, OK 74604-4434
3	C.O.S. 95B Tract 13 20.118 AC	Brutger Alan & Mary	Brutger Alan & Mary PO Box 1946 Bozeman, MT 59771-1946
4	C.O.S. 95-C Tract 16 20.064 AC	Lazy J Ranches Limited Partnership	Lazy J Ranches Limited Partnership PO Box 55287 Houston, TX 77255-5287
5	S31, T01N R07E ACRES 640 All	United States of America (Forest Service)	United States of America Forest Service PO Box 130 Bozeman, MT 59771-0130
6	S30, T01, R07E ACRES 480, N2 & W2 E2		
7			
8			
9			
10			

* If road is a state highway, also include Montana Department of Transportation in property owner list.
 (If additional pages of this form are needed, download the file entitled "Adjoiner List".)

Conditional Use Permit 8/23/16

Guest House

11095 Taiga Trail, Flaming Arrow Subdivision, Gallatin County, Montana

Owners: Ted & Donna Lyon

- The objective of this project is to give Ted and Donna Lyon a guest house for their kids, grandkids, and vehicles out of sight thus improving the visual appearance of the property.
- Even though this project is not actually visible from the main road or any neighbor's homes, it will help enhance the natural beauty and desirability of the area by providing an attractive structure to contain the guests and their vehicles.
- The exterior of the project will match & compliment the exterior of the main home.
- The location was carefully chosen: there will be no tree removal, no new road requirements, close proximity to the home, and have very limited or no visibility from any neighbors, or road.
- This project is in close proximity to the primary residence and will be constructed in an area that is already being used for parking.
- This project will utilize the existing well for water and has an approved septic permit for a secondary septic system.
- The project is nestled so as not be seen from the main road and not interfere with the skyline.
- This project will not change the environmental beauty or agricultural space of the Bridger Canyon District.

Thank you for consideration of our project.



Gallatin City-County Health Department, Environmental Health Services
215 W. Mendenhall Rm 108, Bozeman, MT 59715 (406) 582-3120

ON-SITE WASTEWATER TREATMENT SYSTEM APPLICATION

www.healthygallatin.org

Property Owner Ted Lyon Agent/Applicant C&H Engineering and Surveying
 Mailing Address 636 Moraine Way Mailing Address 1091 Stoneridge Drive
 City/State/Zip Heath, TX 75032-8906 City/State/Zip Bozeman, MT 59718
 Phone Number _____ Phone Number 406-587-1115

Purpose of Application (Mark all that apply)
 New Upgrade/Expansion Replacement
 (Previous permit #) _____ Failed? Yes No
 Residential Commercial
 Individual/Shared Multiple-User Public

Project Description (Include # and type of structure(s) proposed)
Adding a 2-bedroom guest house to the property

 GPD / # of bedrooms (Include plans for unfinished basement) 225

Site Address 11093 Taiga Trail Parcel Size (Acres) 20.116
 (An Authorized Road Address may be obtained by contacting the Gallatin County GIS Department at (406) 582-3049)

COSA N/A (Certificate of Subdivision Approval) EQ # N/A

Lot/Tract Tr. 17 Block N/A Section 30 Township 1 N Range 7 E COS/Minor Sub # C.O.S. 95B

Site Evaluation Confirmation # 2016 105.03 Ground Water Monitoring # N/A

- I hereby attest that I am the legal owner of the property or an agent thereof and that the information provided is complete and accurate to the best of my knowledge.
- I further certify that the wastewater treatment system will be installed according to state and local regulations for Wastewater Treatment Systems and any conditions on the Authorization to Construct.

Signature Bergann Rankin (C+H) Date 6/14/16

This section to be completed by the Health Department

AUTHORIZATION TO CONSTRUCT

Inspection must be scheduled with GCCHD. System Certification & As-built drawing required for final approval.

Certification Required By Professional Engineer Registered Site Evaluator Installer

Type of System Required Standard Pressure Dist Maximum Trench Depth 36"

Concrete Septic Tank 1000 (Gallons) Pump Tank/Chamber 500 (Gallons) Effluent Filter Screen Required

Absorption Area (Square Feet) Gravel & Pipe — Gravelless 3 laterals x 48' long

* Contact PEISE to stake locations prior to install

3 laterals x 48' long x 3' wide

COSA Limitations (# and Type of Structures Allowed) NA

Water Supply Individual Well Public Multi-User Sanitary Well Seal Required

Install per approved plans maintaining all setbacks. Any modifications requires prior approval.

Permit Number 17334 Approved By Thomas C. Moore RS Date Issued 6-30-2016 Date Expires 06-30-2018

1/334 - LYON

Sheet 1 of 2

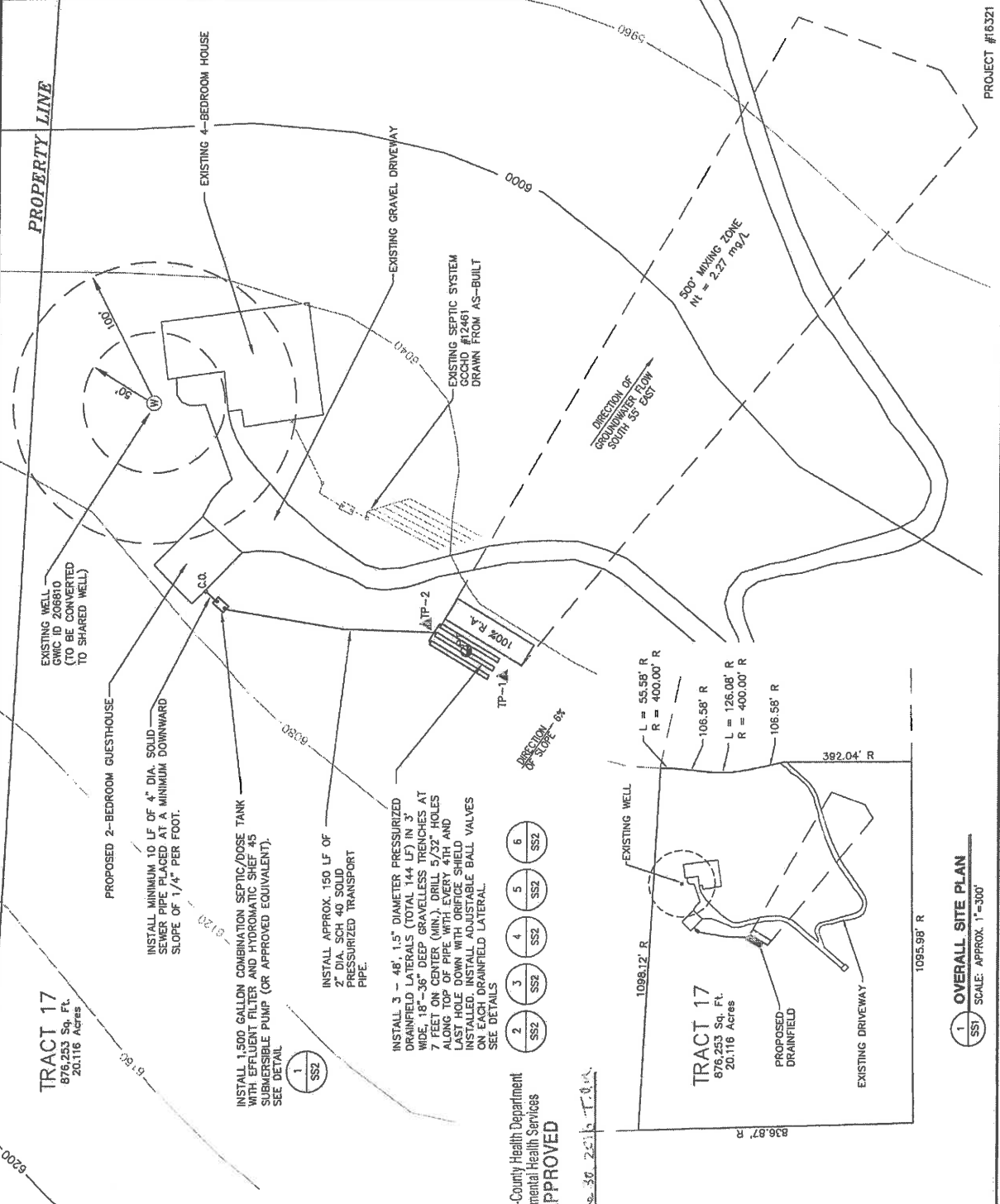


REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 10011
 STATE OF MONTANA

SEPTIC SYSTEM SITE PLAN

TRACT 17 C.O.S. 95B
 GALLATIN COUNTY, MONTANA

SS1
 Drawing Date: 6/14/2018
 PROJECT #16321



LEGEND

- PROPERTY BOUNDARY
- C.C. (Circled C)
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ EXISTING WELL LOCATION
- ▲ TEST PIT LOCATION
- ⊙ PERCOLATION TEST LOCATION

Scale in Feet
 0 70
 21

Scale in Meters
 0 70
 21

ROAD ADDRESS:
 11093 TAIGA TRAIL

Gallatin City-County Health Department
 Environmental Health Services
APPROVED

LEGAL DESCRIPTION:
 TRACT 17 C.O.S. 95B
 SEC. 30, T. 1N., R. 7E., P.M.M.
 GALLATIN COUNTY, MONTANA

DATE: June 16, 2018

NOTES:

SLOPE ACROSS DRAINFIELDS AND 100% REPLACEMENT AREAS ≤ 7.0%.

AT THIS TIME THERE ARE NO KNOWN WELLS AND/OR SURFACE WATER WITHIN 100 FEET OF THE PROPOSED DRAINFIELD/100% REPLACEMENT AREA.

PRIOR TO CONSTRUCTION OF DRAINFIELD VERIFY THAT SEPTIC SYSTEM AND ALL COMPONENTS WILL MEET ALL REQUIRED OFFSETS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

OWNER MUST DIVERT ALL STORM RUNOFF AWAY FROM ALL SEWER SYSTEM COMPONENTS TO PREVENT POSSIBLE MALFUNCTION.

ALL SEWER SERVICE LINES SHALL BE SLEEVED OR PROPERLY BEDDED FOR PROTECTION AT ALL ROAD/DRIVEWAY CROSSINGS AND PARKING AREAS.

INSTALLER RESPONSIBLE FOR COVERING, SITE CONDITIONS, SEWER STUB LOCATIONS, AND ALL UTILITIES PRIOR TO CONSTRUCTION.

OVERALL SITE PLAN
 1" = 300'
 SCALE: APPROX. 1"=300'



C&H Engineering and Surveying, Inc.
108 Parkside Drive • Helena, MT 59713
Phone (406) 857-1115 • Fax (406) 857-9758
www.chengineering.com • info@chengineering.com

ARCHON
DESIGN
CONSTRUCTION

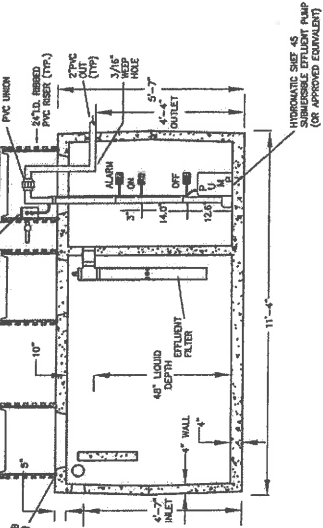
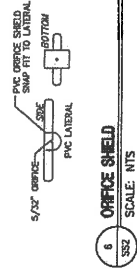
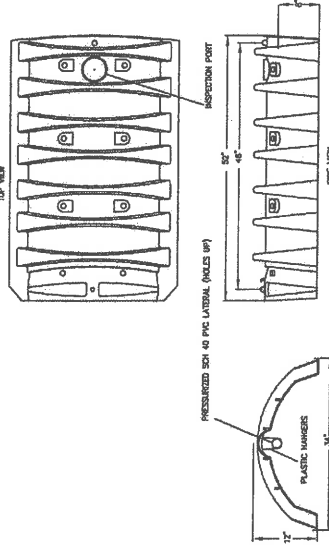
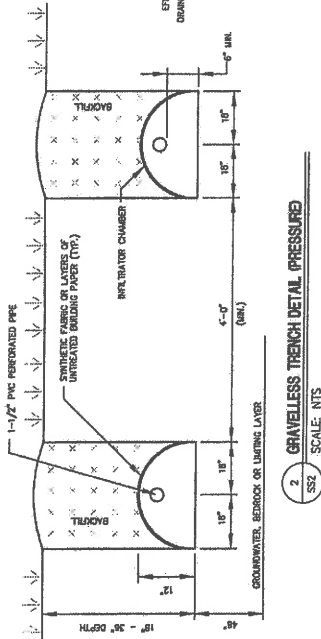
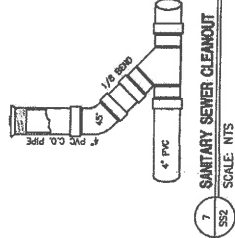
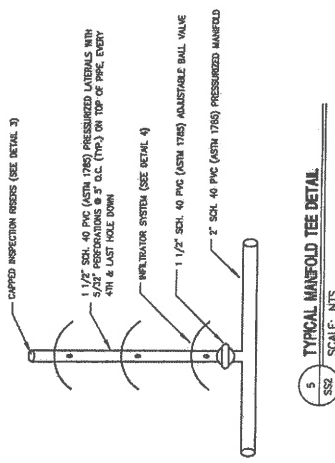
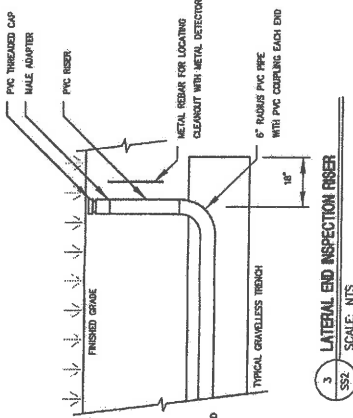
SEPTIC SYSTEM DETAILS

TRACT 17 C.O.S. 95B
GALLATIN COUNTY, MONTANA

Drawing Date: 6/14/2016



PROJECT #16321

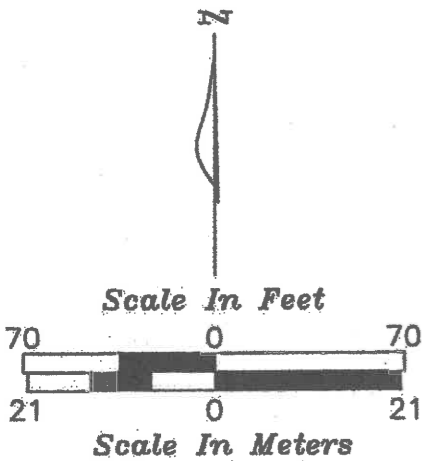


NOTES: DOSE CHAMBER SHALL BE EQUIPPED WITH AUDIO AND/OR VISUAL ALARM
DOSE VOLUME = 145 GALS/DOSE
FLOAT HEIGHT = 14.0 INCHES

- ### CONSTRUCTION NOTES:
- ALL WORK SHALL BE IN ACCORDANCE WITH CIRCULAR DEED#4 AND GALLATIN CITY COUNTY HEALTH DEPARTMENT REGULATIONS FOR WASTEWATER TREATMENT SYSTEMS.
 - ALL SYSTEM COMPONENTS WILL BE BURIED, COVERED AND INSULATED TO PREVENT MALFUNCTION. USE INSULATED PVC RISERS AND/OR 2" RIGID PVC INSULATION WHERE REQUIRED. 1" OF INSULATION PER FOOT OF BURIAL LESS THAN 7.5 FEET.
 - ALL SYSTEM COMPONENTS WILL MEET REQUIREMENTS FOR NATIONAL ELECTRICAL CODE CLASS 1, DIVISION 2. ALL PUMPS AND CONTROLS WILL BE CORROSION RESISTANT. AN AUDIBLE OR VISUAL ALARM SHALL BE PROVIDED TO INDICATE FAILURE OF THE SYSTEM.
 - INSTALLER RESPONSIBLE FOR CONFIRMING SITE CONDITIONS AND ALL UTILITIES PRIOR TO CONSTRUCTION.
 - OWNER MUST DIVERSIFY ANY SPRING AND/OR STORM RUNOFF FROM HOMESTEAD AWAY FROM ALL SEWER SYSTEM COMPONENTS TO PREVENT SYSTEM MALFUNCTION.
 - ALL SYSTEM COMPONENTS (OR EQUIVALENTS) TO BE APPROVED BY THE ENGINEER.
 - CONCRETE TANK MUST BE REINFORCED CONCRETE AND SEPTIC TANK PORTION MUST BE EQUIPPED WITH EFFLUENT FILTER.
 - INSTALLER MUST BE LICENSED AND QUALIFIED TO INSTALL WASTEWATER TREATMENT SYSTEMS IN GALLATIN COUNTY, MONTANA.
 - INSTALL PROTECTIVE SLEEVE OR USE PROPER PIPE BEDDING MATERIAL AT ALL DRIVEWAY AND/OR ROAD CROSSINGS.
 - PRIOR TO CONSTRUCTION OF GRAVELLED, INSTALLER IS TO VERIFY THAT ALL WASTEWATER TREATMENT SYSTEM COMPONENTS WILL MEET ALL SETBACK REQUIREMENTS. INSTALLER SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.

LEGEND

- PROPERTY BOUNDARY
- C.O. SANITARY SEWER CLEANOUT
- ⊙ EXISTING WELL LOCATION
- ▲ TEST PIT LOCATION
- ⊙ PERCOLATION TEST LOCATION



ROAD ADDRESS:
11095 & XXXXX TAIGA TRAIL

LEGAL DESCRIPTION:
TRACT 17 C.O.S. 95B
SEC. 30, T. 1N., R. 7E., P.M.M.
GALLATIN COUNTY, MONTANA

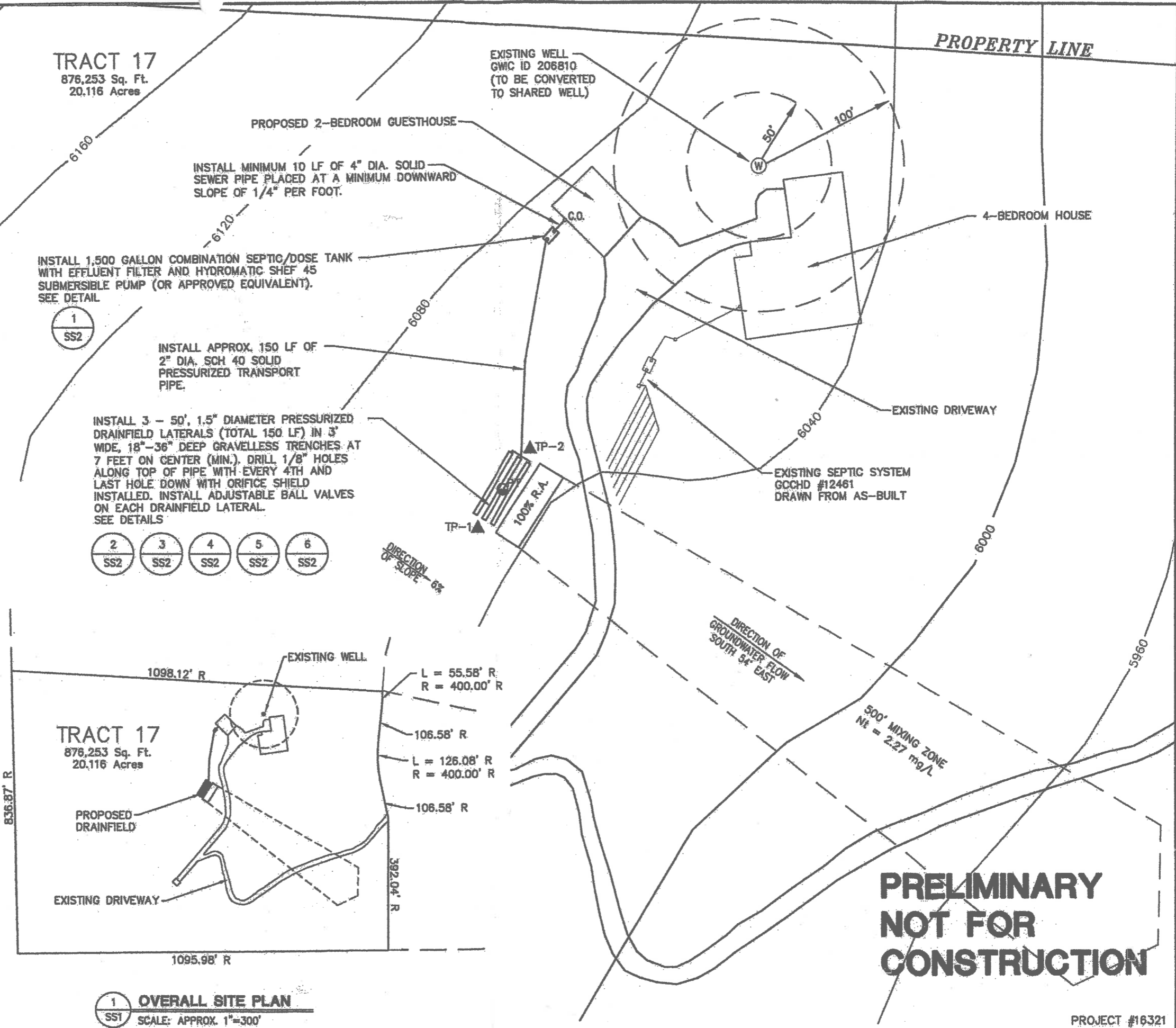
NOTES:
SLOPE ACROSS DRAINFIELDS AND 100% REPLACEMENT AREAS ≤ 7.0%.
AT THIS TIME THERE ARE NO KNOWN WELLS AND/OR SURFACE WATER WITHIN 100 FEET OF THE PROPOSED DRAINFIELD/100% REPLACEMENT AREA.

PRIOR TO CONSTRUCTION OF DRAINFIELD VERIFY THAT SEPTIC SYSTEM AND ALL COMPONENTS WILL MEET ALL REQUIRED OFFSETS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

OWNER MUST DIVERT ALL STORM RUNOFF AWAY FROM ALL SEWER SYSTEM COMPONENTS TO PREVENT POSSIBLE MALFUNCTION.

ALL SEWER SERVICE LINES SHALL BE SLEEVED OR PROPERLY BEDDED FOR PROTECTION AT ALL ROAD/DRIVEWAY CROSSINGS AND PARKING AREAS.

INSTALLER RESPONSIBLE FOR CONFIRMING SITE CONDITIONS, SEWER STUB LOCATIONS, AND ALL UTILITIES PRIOR TO CONSTRUCTION.



1 OVERALL SITE PLAN
SS1 SCALE: APPROX. 1"=300'

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT #16321

Sheet 1 of 2

C&H
Engineering and Surveying Inc.
1051 Riverside Drive • Bozeman, MT 59719
Phone (406) 587-1115 • Fax (406) 587-9788
www.chandh.com • info@chandh.com

SEPTIC SYSTEM SITE PLAN
TRACT 17 C.O.S. 95B
GALLATIN COUNTY, MONTANA

Drawing Date: 6/20/2016

SS1

CONDITIONAL USE PERMIT REVIEW 8/23/16

STRUCTURAL ENGINEER:
 C & H ENGINEERING
 BRENDAN HENRY
 1091 STONERIDGE DRIVE
 BOZEMAN, MT 59718
 (406) 587-1115

CIVIL ENGINEER:
 C & H ENGINEERING
 MARK CHANDLER
 1091 STONERIDGE DRIVE
 BOZEMAN, MT 59718
 (406) 587-1115

DRAWING LIST
 A0.1 COVER SHEET
 C1.0 SITE PLAN
 A2.1 FLOOR PLANS
 A2.3 ROOF PLAN
 A3.1 EXTERIOR ELEVATIONS

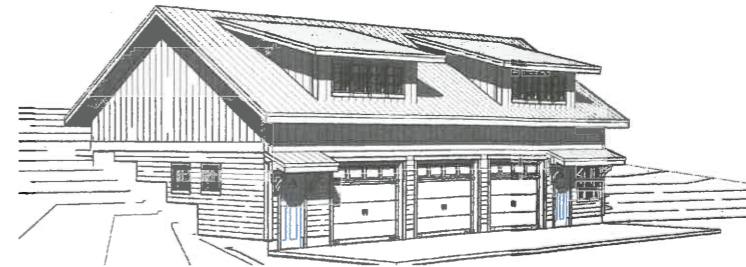
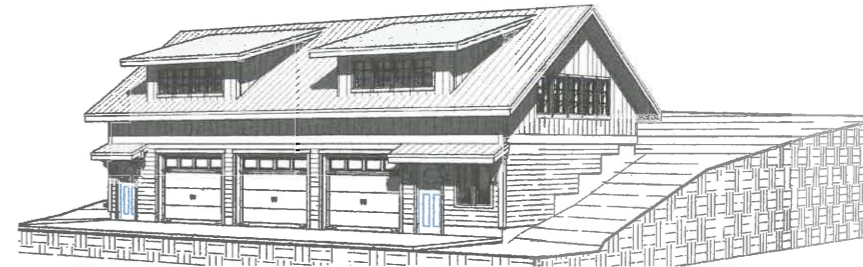
PROJECT NOTES:
 CONTRACTOR & OWNER ARE TO ADHERE TO ALL PERTAINING LAWS AND REGULATIONS.
 CURRENT CODE:
 IRC 2012 (BUILDER MUST COMPLY WITH ALL CURRENT LOCAL CODES AND REGULATIONS HAVING JURISDICTION)
 SQUARE FOOTAGE:
 MAIN:
 GARAGE 1,276 SQ FT
 CIRCULATION 96 SQ FT
 LAUNDRY 96 SQ FT
 MECHANICAL 42 SQ FT
 SECOND:
 LIVING 1,226 SQ FT
 TOTAL: 2,736 SQ FT

OWNERS:
 TED & DONNA LYON
 11095 TAIGA TRAIL
 BOZEMAN, MT 59715
 (406) 585-3071

GENERAL CONTRACTOR:
 KRESGE CONSTRUCTION
 LANCE KRESGE
 P.O. BOX 11147
 BOZEMAN, MT 59719
 (406) 439-5261

LYON'S DEN BARN

TRACT 17
 FLAMING ARROW
 GALLATIN COUNTY



GENERAL NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND STANDARDS HAVING JURISDICTION INCLUDING 2006 IRC. IF THERE ARE ANY QUESTIONS OR CONFLICTS CONCERNING COMPLIANCE WITH SUCH CODES, ORDINANCES OR STANDARDS, THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGNER BEFORE PROCEEDING WITH THE WORK IN QUESTION. ALL NECESSARY PERMITS, LICENSE, CERTIFICATES, TESTS, ETC. SHALL BE PROCURED AND PAID FOR BY THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT THE WORK IS BUILDABLE AS SHOWN AND MEETS ALL APPLICABLE CODES BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ISSUES, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE DESIGNER BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
- THE CONTRACTOR SHALL CERTIFY SIZE AND LOCATION OF ALL REQUIRED OPENINGS FOR STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING WORK AND EQUIPMENT WITH TRADES INVOLVED.
- CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED, AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.
- EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES FOLLOWING THEM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS AND/OR SPECIFICATIONS TO THE TRADES UNDER THEIR JURISDICTION.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE(1) YEAR FROM APPROVAL OF FINAL PAYMENT.
- ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- MECHANICAL AND HVAC SYSTEMS TO BE DESIGNED AND INSTALLED BY QUALIFIED HVAC INSTALLER.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ENGINEER/DESIGNER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE COMPLETION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS.

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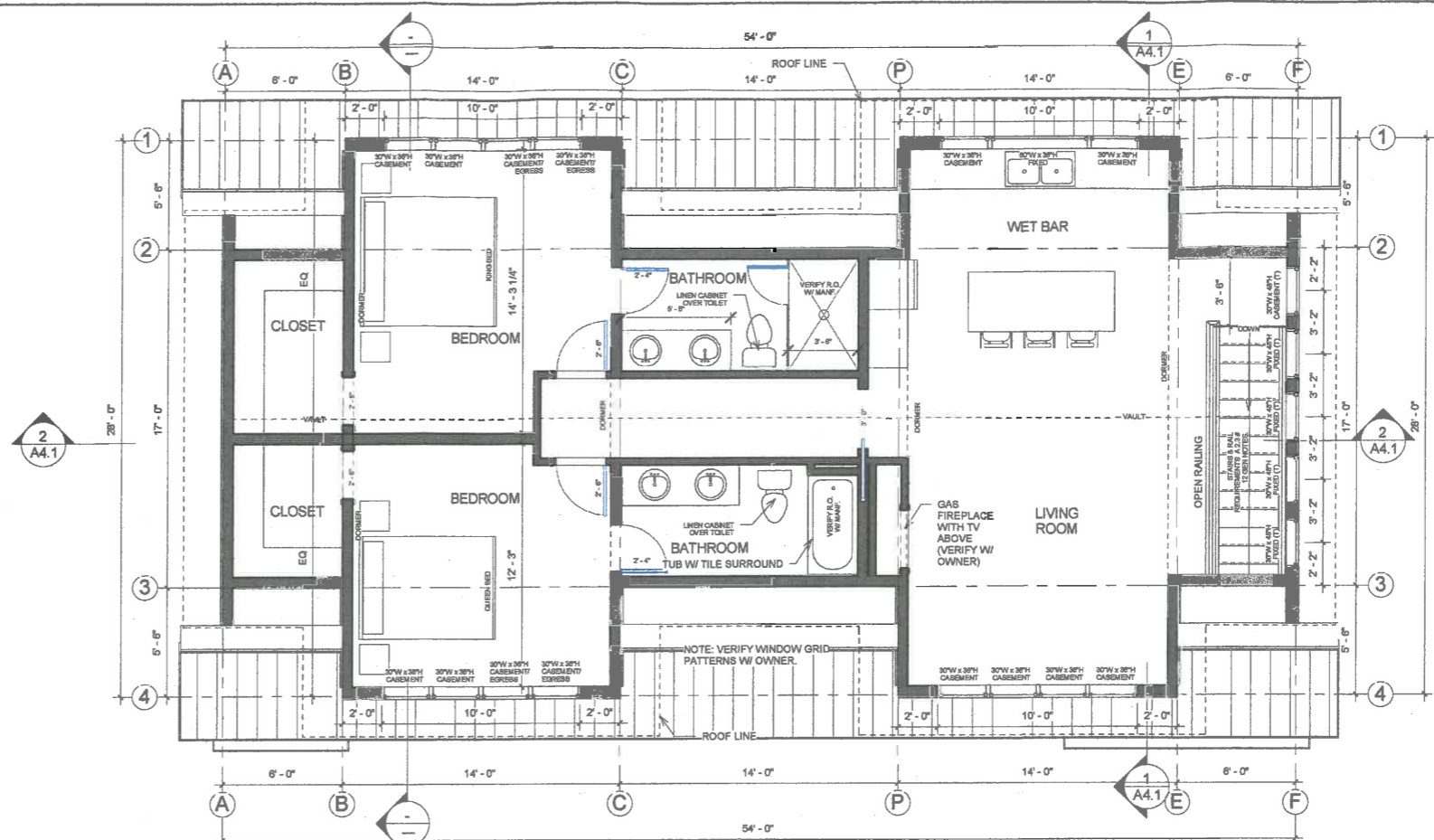
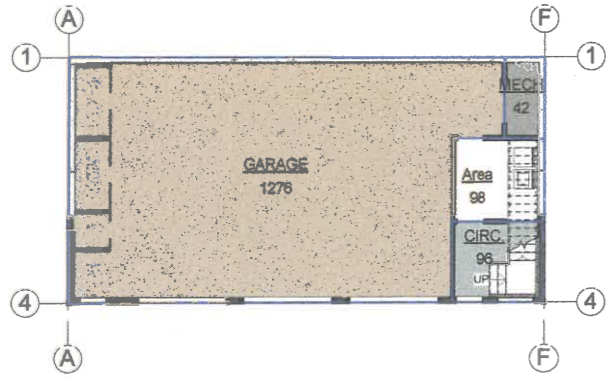
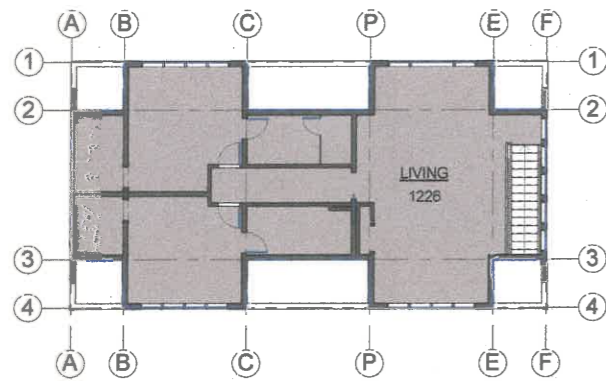
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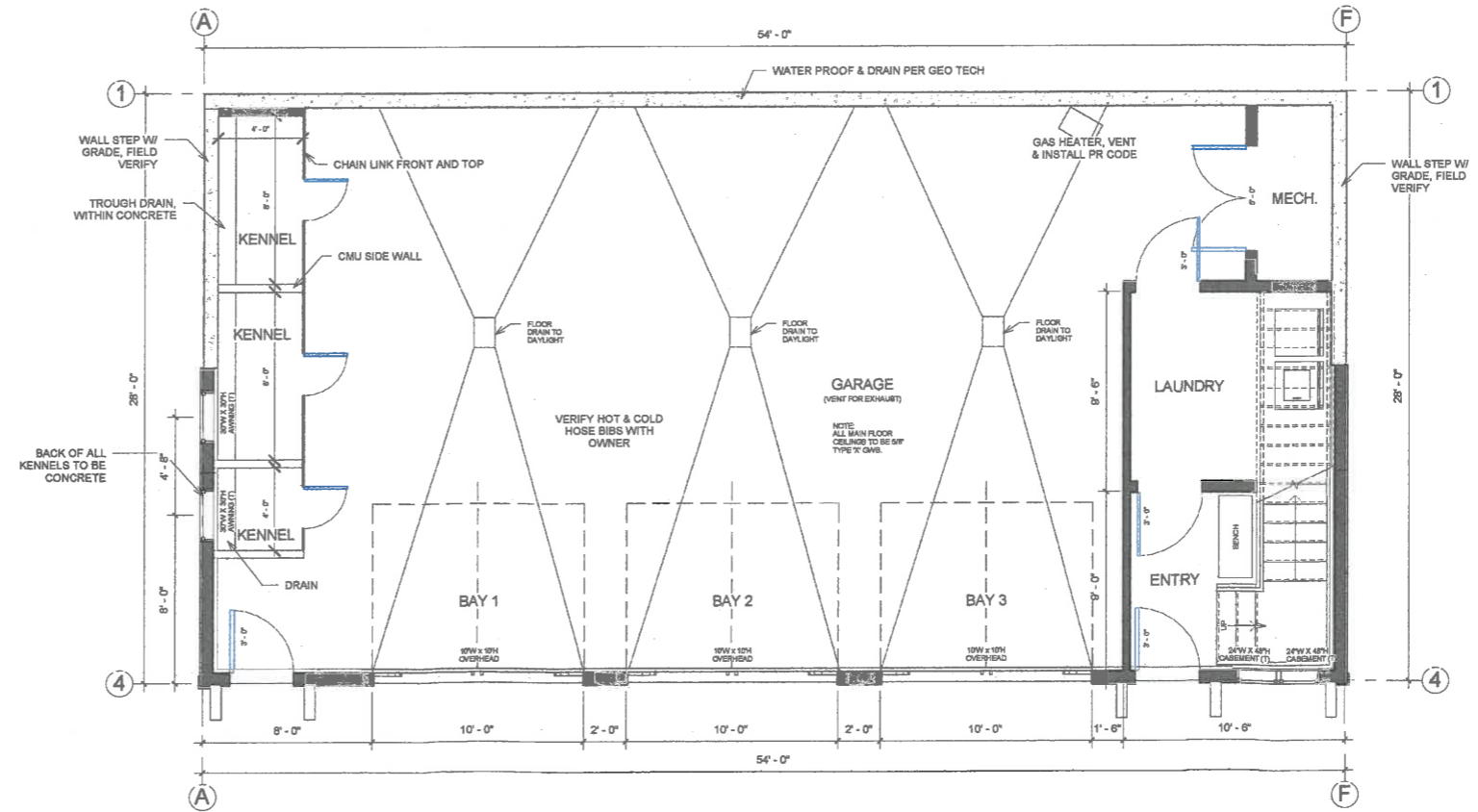
LYON'S DEN BARN
 TED & DONNA LYON
 TRACT 17 FLAMING ARROW
 GALLATIN COUNTY

COVER SHEET
A0.1

- NOTES:
1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO INSURE THAT ALL PRODUCTS ARE INSTALLED PER MANUFACTURER RECOMMENDATIONS
 2. IT IS THE RESPONSIBILITY OF THE ELECTRICAL, PLUMBING AND MECHANICAL SUBCONTRACTORS TO DESIGN/BUILD THEIR SYSTEMS AND TO INSURE THAT THESE SYSTEMS ARE INSTALLED AND OPERATING PROPERLY
 3. IT IS THE OWNER OR CONTRACTOR'S RESPONSIBILITY TO TAKE THE NECESSARY PRECAUTIONS TO PREVENT AGAINST THE BUILD-UP OF MOISTURE OR MOLD.
 4. DIMENSIONS ARE TAKEN TO THE FACE OF FRAMING OR STRUCTURE U.N.O.
 5. PROVIDE TERMITE PROTECTION AS REQUIRED PER CODE.
 6. SMOKE DETECTORS SHALL BE INSTALLED ON EACH LEVEL OF DWELLING UNITS AND AS DICTATED BY CURRENT CODES.
 7. USE (2) 2 X10 HEADERS U.N.O.



2 SECOND FLOOR PLAN
1/4" = 1'-0"



4 MAIN FLOOR PLAN
1/4" = 1'-0"

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 TED & DONNA LYON
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 GALLATIN COUNTY

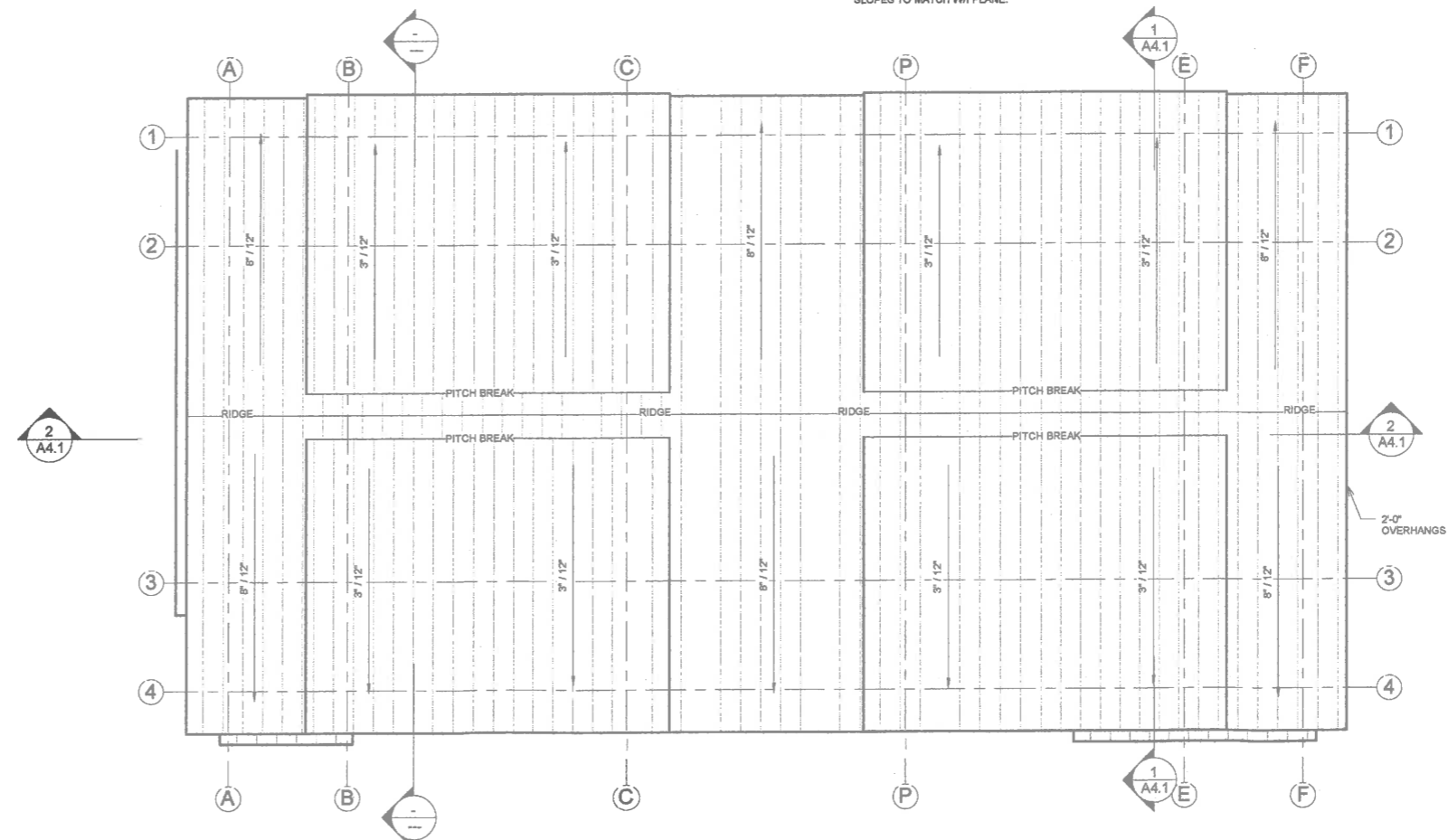
FLOOR PLANS
A2.1

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NOTES:

- A. FLASHING TO BE INSTALLED:
 - AT WALL AND ROOF INTERSECTIONS
 - WHEREVER THERE'S A CHANGE IN ROOF SLOPE DIRECTION
 - AROUND ROOF OPENINGS & PENETRATIONS
- B. ICE PROTECTION:
 - FROM EDGE OF EAVE TO A MINIMUM OF 24" INSIDE OF EXT WALL LINE
- C. ROOF DRAINAGE:
 - COLLECT AND DISCHARGE ALL ROOF DRAINAGE TO THE GROUND SURFACE AND SLOPE AWAY FROM FOUNDATION OR PER ENGINEER (GUTTERS NOT SHOWN BUT REQUIRED - TYP.)
- D. ROOF DESIGN:
 - VERIFY HEEL HGT'S ON TRUSSES, ALL HT'S MAY NOT BE THE SAME
 - WALL HGT'S AT RAFTERS MAY NEED TO BE ADJUSTED UP/DOWN TO MATCH HEELS AT TRUSSED AREAS SO FASCIA'S ALIGN. VERIFY W/ TRUSS MANF.
- E. ROOF VENTILATION:
 - PROVIDE RIDGE VENTS AND SOFFIT VENTS AS REQUIRED BY CODE.

NOTE: ALL HANGERS, HOLDDOWNS & HURRICANE CLIPS ARE THE RESPONSIBILITY OF THE CONTRACTOR. SEE TRUSS CALCULATIONS FOR LOADS. CONTRACTOR RESPONSIBLE FOR TRUSS SHOP DRAWINGS AND FINAL SLOPES TO MATCH W/1 PLANE.



1 ROOF PLAN
1/4" = 1'-0"

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LYON'S DEN BARN
TED & DONNA LYON
TRACT 17 FLAMING ARROW
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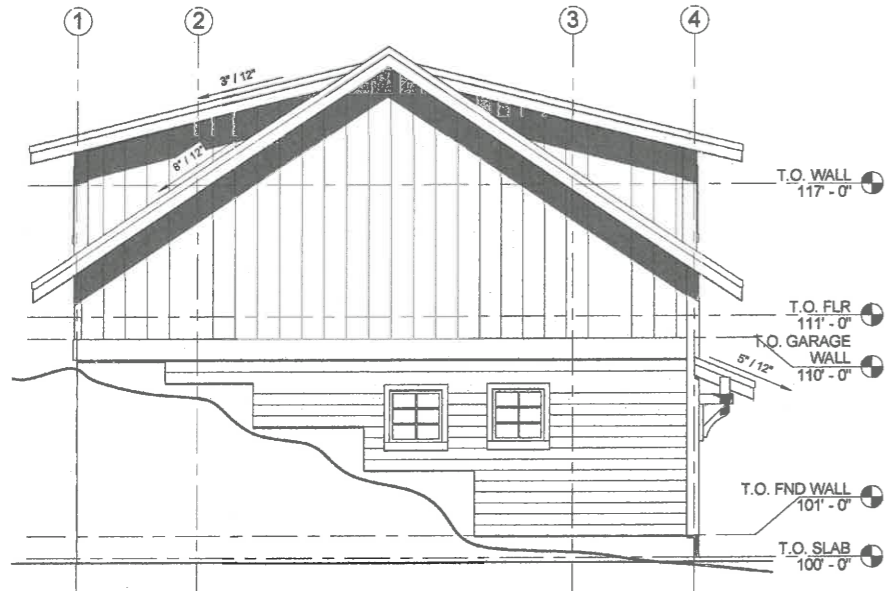
ROOF PLAN
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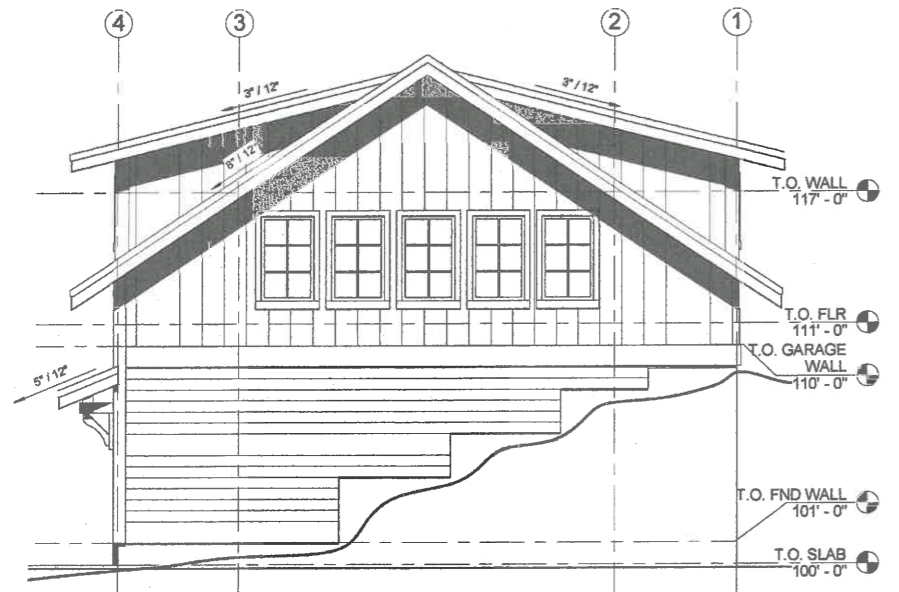
NOTES:
 1. VERIFY WINDOW GRID PATTERNS W/ OWNER.
 2. ALL EXTERIOR MATERIALS & COLORS TO MATCH EXISTING HOME.



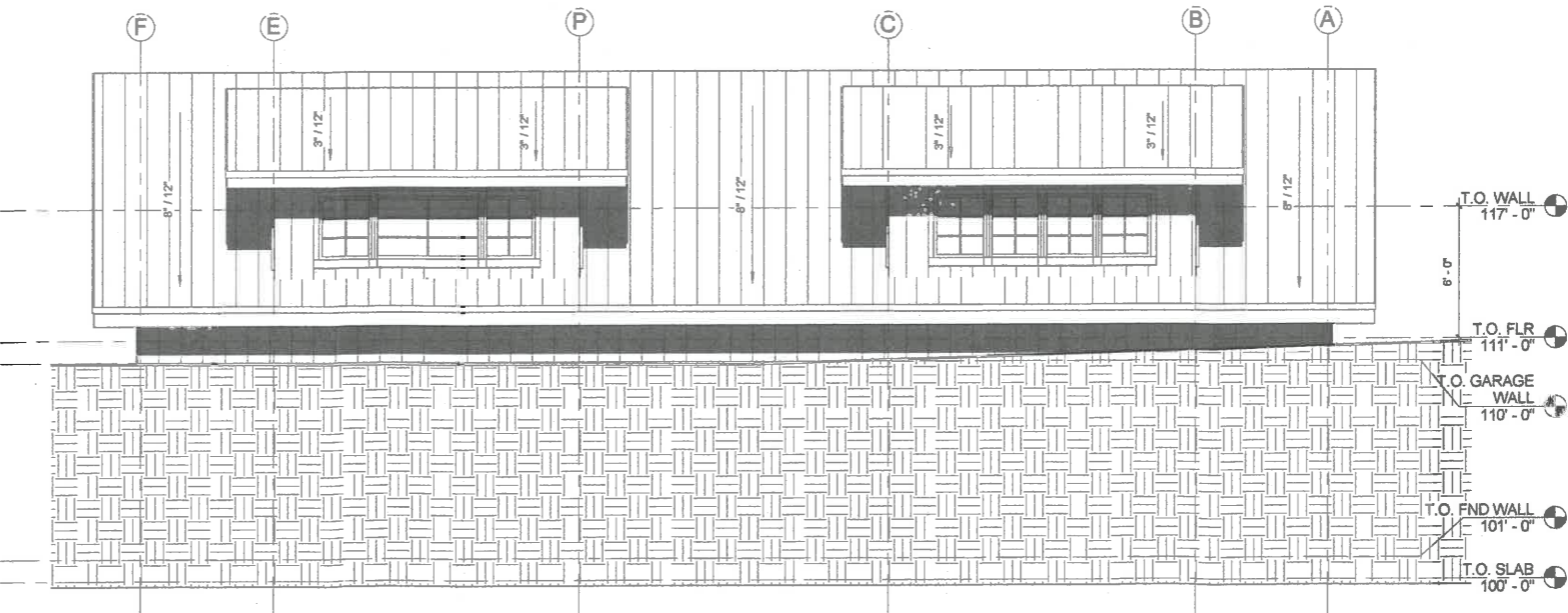
1 LEFT SIDE ELEVATION
 1/4" = 1'-0"



2 FRONT ELEVATION
 1/4" = 1'-0"



3 RIGHT SIDE ELEVATION
 1/4" = 1'-0"



4 BACK ELEVATION
 1/4" = 1'-0"

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EXTERIOR ELEVATIONS

A3.1

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